

2101 W. 18TH ST. | CLEVELAND, OH 44113

Project Description

THE PROJECT INCLUDES THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE WITH A DETACHED 3-CAR GARAGE, BOTH OF WOOD FRAMED CONSTRUCTION. THE HOUSE HAS A BASEMENT AND THREE STORIES ABOVE GRADE. IT IS CLAD IN BRICK AND EIFS AND FEATURES A GABLED ROOF. BETWEEN THE GARAGE AND HOUSE IS A COURTYARD PATIO.

Project Team

ARCHITECT:
HORTON HARPER ARCHITECTS
 812 HURON ROAD E., STE. 305
 CLEVELAND, OH 44115
 216.600.9028
 HORTONHARPER.COM

STRUCTURAL ENGINEER:
I.A. LEWIN & ASSOCIATES, INC.
 4110 MAYFIELD RD, SUITE B
 SOUTH EUCLID, OH 44121
 216.291.3131
 LEWINGANDASSOCIATES.COM

BUILDER:
BERGES LLC
 2030 W. 19TH STREET CLEVELAND,
 OH 44113 216.276.3816
 BERGESLLC.COM

CIVIL ENGINEER:
RIVERSTONE CO.
 3800 LAKESIDE AVE E CLEVELAND,
 OH 44114 216.491.2000
 RIVERSTONESURVEY.COM

Project Data

NOTE: ALL CONSTRUCTION SHALL MEET CURRENT ENTERPRISE GREEN COMMUNITY STANDARDS FOR CITY OF CLEVELAND TAX ABATEMENT.

- BUILDING CODES:** RESIDENTIAL CODE OF OHIO-2019
 NATIONAL ELECTRICAL CODE
 NATIONAL PLUMBING CODE
 OHIO MECHANICAL CODE
- USE:** SINGLE FAMILY RESIDENTIAL
- FIRE PROTECTION:** 5B UNPROTECTED

FIRE RESISTANCE RATINGS:
 EXTERIOR WALLS WITH
 < 5'-0" FIRE SEPARATION DISTANCE = 1 HOUR
- AREA:**

TOTAL ABOVE GRADE: 3,822 SF			
BASEMENT SF	1ST FP SF	2ND FP SF	3RD FP SF
1561 SF	1473 SF	1317 SF	1032 SF

ARCHITECTURAL ABBREVIATIONS			LEGEND INDICATIONS	
ACT - ACOUSTIC TILE	EWIC - ELECTRIC WATER COOLER	MAS - MASONRY	STD - STANDARD	
A.F.F. - ABOVE FINISHED FLOOR	EXIST. - EXISTING	MAX - MAXIMUM	STL - STEEL	
ALT - ALTERNATE	EXP - EXPANSION	MECH. - MECHANICAL	STRUCT. - STRUCTURAL/STRUCTURE	
ALUM - ALUMINUM	EXT - EXTERIOR	MFR - MANUFACTURER	SUSP - SUSPENDED	
APPROX. - APPROXIMATELY	FD - FLOOR DRAIN	MH - MANHOLE	TI - TOP OF	
ARCH. - ARCHITECTURAL	FE - FIRE EXTINGUISHER	MIC - MICROWAVE	T.B.D. - TO BE DETERMINED	
AWB - AIR & WATER BARRIER	FN - FINISH	MIN. - MINIMUM	TERR - TERRAZZO	
BLDG - BUILDING	FLR - FLOOR	MISC. - MISCELLANEOUS	THRESH. - THRESHOLD	
BLK - BLOCK	FDN - FOUNDATION	MO - MASONRY OPENING	TYP. - TYPICAL	
B.M. - BENCH MARK	FPHB - FROST PROOF HOSE BIBB	MR - MOISTURE RESISTANT	UNO - UNLESS NOTED OTHERWISE	
BM - BEAM	FR - FIRE RATED	MTL - METAL	VCT - VINYL COMPOSITION TILE	
BN - BULLNOSE	FTG - FOOTING	N.I.C. - NOT IN CONTRACT	VERT - VERTICAL	
BP - BENT PLATE	FLURR - FLURRING	NO. - NUMBER	V.I.F. - VERIFY IN FIELD	
BT - BOTTOM OF	FVOC - FIRE VALVE CABINET	NTS - NOT TO SCALE	WC - WATER CLOSET	
BTM - BOTTOM	GA - GAUGE	OA - OVERALL	WD - WOOD	
CAB - CABINET	GALV. - GALVANIZED	OC - ON CENTER	WP - WORK POINT, WOOD POST	
C.B. - CATCH BASIN	GC - GENERAL CONTRACTOR	OD - OUTSIDE DIAMETER	WT - WEIGHT	
CEM - CEMENT	GEN. - GENERAL	OH - OVERHEAD	WAP - WALL ACCESS PANEL	
CJ - CONTROL JOINT	GFRG - GLASS FIBER REINFORCED CONC.	OPP - OPPOSITE	WWF - WELDED WIRE FABRIC	
CL - CENTER LINE	GFRG - GLASS FIBER REINFORCED GYPSUM	PR - PAIR		
CLR - CLEAR	GL - GLASS/GLAZING	PC - PRE-CAST		
CLG - CEILING	G.S. - GRAVEL STOP	PL - PLATE		
CM - CONSTRUCTION MANAGER	GYP. BD. - GYPSUM BOARD	PLAM - PLASTIC LAMINATE		
CMT - CERAMIC MOSAIC TILE	H.B. - HOSE BIBB	PLUMB. - PLUMBING/PLUMBER		
CMU - CONCRETE MASONRY UNIT	HC - HANDI-CAP	PLYWD - PLYWOOD		
COL - COLUMN	HDW - HARDWARE	POL - POLISHED		
CONC. - CONCRETE	HDWD - HARDWOOD	PRE. FIN. - PREFINISHED		
CONSTR. - CONSTRUCTION	HM - HOLLOW METAL	PROJ. - PROJECTED/PROJECTION		
CONT. - CONTINUOUS	HORIZ. - HORIZONTAL	P.S. - PARAPET STEP		
CONTR. - CONTRACTOR	H.P. - HIGH POINT	PT - PRESSURE TREATED		
CRS - COURSE	HR - HOUR	PTD - PAINTED		
CT - CERAMIC TILE	HTG - HEATING	R - RADIUS		
CNTR - COUNTER	HYD - HYDRANT	RAD - RADIUS		
CPT - CARPET	ID. - INSIDE DIAMETER	RD - ROOF DRAIN		
CTR - CENTER	INFO - INFORMATION	REF - REFRIGERATOR		
DET - DETAIL	INSUL. - INSULATION/INSULATING	REINF. - REINFORCEMENT/REINFORCED		
DF - DRINKING FOUNTAIN	INT - INTERIOR	REQ. - REQUIRED/REQUIREMENT		
DM - DIAMETER	INV - INVERT	RM - ROOM		
DM - DIMENSION	JAN - JANITOR	RO - ROUGH OPENING		
DO - DOOR OPENING	JST - JOIST	R.O.D. - ROOF OVERFLOW DRAIN		
DS - DOWNSPOUT	JST BRG. - JOIST BEARING	RTU - ROOF TOP UNIT		
DW - DISH WASHER	JT - JOINT	S/S - SLOP/SERVICE SINK		
DWG - DRAWING	LAV - LAVATORY	SHT. - SHEET		
EIFS - EXTERIOR INSULATION & FINISH SYS.	LG - LONG	SIM - SIMILAR		
EL - ELEVATION	LVV - LONG LEG HORIZONTAL	SPEC - SPECIFICATION(S)		
ELEV - ELEVATOR	LVV - LONG LEG VERTICAL	SQ - SQUARE		
ELEC - ELECTRICAL	LP - LOW POINT	S. STL. - STAINLESS STEEL		
EJ - EXPANSION JOINT	LT - LIGHT	ST - SUITE		

DRAWING INDEX		ISSUE NAME/DATE	
NO.	DRAWING NAME	PERMIT SET	ADDENDUM 1 CITY COMMENTS
TS1.00	TITLE SHEET	2/6/2024	3/20/2024
PG 1 OF 1	SITE PLAN SURVEY		
S0.01	GENERAL STRUCTURAL NOTES		
S0.02	CONCRETE DETAILS		
S0.03	BRACED WALL DETAILS		
S0.04	FRAMING DETAILS		
S1.01	FOUNDATION PLANS & GARAGE FRAMING PLAN		
S1.02	FRAMING PLANS		
S1.03	FRAMING PLANS		
A0.00	ARCHITECTURAL SPECIFICATIONS		
A0.01	ARCHITECTURAL SITE PLAN & LANDSCAPING PLAN		
A1.00	WALL, FLOOR, & ROOF ASSEMBLIES & INTERIOR DOOR TYPES		
A1.01	FLOOR PLANS		
A1.02	FLOOR PLANS		
A1.03	FLOOR & ROOF PLANS		
A2.00	WINDOW & EXTERIOR DOOR TYPES AND EXT. MATERIAL LEGEND		
A2.01	EXTERIOR ELEVATIONS		
A2.02	EXTERIOR ELEVATIONS		
A3.01	BUILDING SECTIONS		
A3.02	BUILDING SECTIONS		
A3.03	WALL SECTIONS		
A5.01	DETAILS		
A5.02	DETAILS		
A6.01	REFLECTED CEILING PLANS		
A6.02	REFLECTED CEILING PLANS		



NOTE: RENDERINGS SHOWN FOR PRESENTATION PURPOSES ONLY. REFER TO TECHNICAL DRAWINGS.

Stamp



2101 West 18th Street
 Cleveland, Ohio 44113

Revisions

City Comments 3/20/24

Original Submission Date 2/6/2024

- | | |
|----------------------------------|------------------------|
| Submission | Progress |
| <input type="radio"/> | Design Review |
| <input type="radio"/> | Lot Split |
| <input type="radio"/> | Planning |
| <input type="radio"/> | Zoning |
| <input type="radio"/> | Schematic Design |
| <input type="radio"/> | 80% Design Development |
| <input checked="" type="radio"/> | Building Permit |
| <input type="radio"/> | Bidding |
| <input type="radio"/> | Construction |

Current Date 2/6/24
 Drawn By HMN
 Checked By WMH
 Job Number 23004

Sheet
TITLE SHEET

Discipline & Number

TS1.00

LEGEND

●	Monument Box Found	○	Spot Elevation Top
○	Iron Pin or Pipe Found	○	Hydrant
○	5/8" Iron Pin Set and Capped	○	Water Service Valve
○	Riverstone Company Dudley P58747	○	Water Valve
○	P.K. Nail	○	Water Meter
○	Gas Meter	○	Reducer
○	Gas Valve	○	Storm Manhole
○	Utility Pole	○	Sanitary Manhole
○	Light Pole	○	Curb Inlet
○	Guy Anchor & Line	○	Catch Basin
○	Telephone Box	○	Property Line
○	Electric Box	○	Centerline
○	Cable Box		
○	Ballard		
○	Obstruction / Test Tee		

---	Ex. Parcel Line	---	Proposed
---	Original Lot Line	---	Existing
---	Centerline	---	Proposed
---	Property Line	---	Existing
---	Right-of-way Line	---	Proposed
---	Easement Line	---	Existing
---	Railroad Tracks	---	Proposed

Ac.	Acres	Inv.	Invert
Adj.	Adjacent	L.C.A.	Limited Common Area
A.F.N.	Adjacent File Number	L.F.	Lineal Feet
Asp.	Asphalt	Meas./M.	Measured Manhole
B.F.	Basement Floor	M.H.	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	P.P.N.	Permanent Parcel
CB	Catch Basin	Pg.	Page
C.C.M.R.	Cuyahoga County Map Records	Prop.	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Ch.	Chairs	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elev.	Elevation	T.F.	Top of Footing
Encr.	Encroaches	T.T.	Test Tee
Ex.	Existing	TW	Top of Wall
F.F.	Finished Floor	Typ.	Typical
GUT	Gutter	Vol.	Volume
		Wat.	Water

VERTICAL CONTROL MONUMENT AND T.B.M.

(VRS Virtual Reference Station 12-10-2014)
 The vertical component of the VRS network is based on NAVD88 as determined by the NGS (National Geodetic Survey).
 T.B.M. No. 1 Elevation: 684.47' (NAVD 1988)
 Top nut of hydrant on the easterly right of way of West 18th Street fronting the subject property.
 Definitions NAVD - North American Vertical Datum

SURVEYOR NOTES

Proposed home shown herein are based on architectural plans from Horton Harper Architects dated December 5, 2023.
 Dimensions shown herein are per basement/foundation plans received December 5, 2023.
 This Site Plan Survey was prepared without the benefit of a current title commitment. Therefore, the Riverstone Company cannot determine if any easements, restrictions and reservations affect the subject property. If the Riverstone Company is provided with the title commitment, a revised survey map will be provided at Riverstone's hourly fee schedule.
 Existing building, fences, concrete and trees to be removed before construction.

SEWER REFERENCE

Sewer Connection Data:
 City of Cleveland
 Bradford Sewer Plan No. 3115
 Connection Book 22, Page 380
 Slant #2 - ±115.5 east of MH#1
 18th Street Sewer Plans
 Water Pollution Control GIS Maps
 Connection Book 16, Page 157
 Slant #28 - 6.5' South of MH #3
 Slant #30 - 18.5' South of MH #3

WPC NOTE

The contractor must obtain a sewer permit from the City of Cleveland, division of Water Pollution Control, before performing the sewer work. Prior to construction the contractor shall locate existing slant 28 for re-use. Contractor shall expose slant and it shall be inspected by Water Pollution Control for reuse. If connection is viable contractor shall notify engineer of location and elevation. If Water Pollution Control determines the slant is no longer viable the contractor shall install a new 6" VCP slant per WPC standards. Contractor to coordinate with Water Pollution Control. Sewer within the R/W, from test tee to the main shall be 6" VCP @ a minimum slope of 1.0%.

CWD NOTE

Prior to construction the contractor shall coordinate reuse of the existing water connection with the Cleveland Water Department. Based on the connection number the Water Department will determine if the connection is likely lead and cannot be reused.

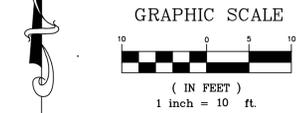
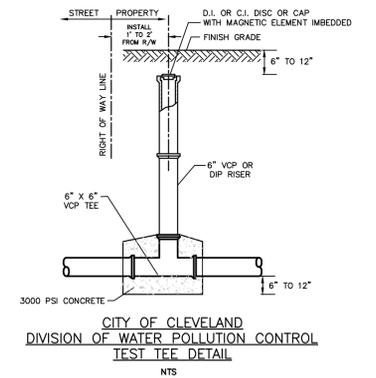
ELECTRIC & GAS NOTE

Proposed meter locations are shown on the architectural / MEP plans. Gas and Electric connections are provided and designed by private utility companies. If plans are needed, they will need to be requested and provided by Dominion and the electric supplier (CEI or CPP)."

SITE PLAN SURVEY

OF
2101 WEST 18TH STREET
P.P.N. 004-02-144
CITY OF CLEVELAND, OHIO
 FOR

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being all of Parcel "K" in the Plat of Consolidation of part of the Original Brooklyn Township Lot No. 70, as shown by the plat recorded in AFN. 202312190523 of Cuyahoga County Records.



SURVEYOR CERTIFICATION

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

1. Finished Floor elevation & House sizes with project Architect.
2. Location and Elevations of existing utility connections. All new utility connections must be installed to City of Cleveland Standards.
3. New sidewalks to be 4" thick concrete except at drive apron which is to be 6" thick concrete. Any new sidewalk, aprons, or street repair must be installed to meet City of Cleveland Standards.
4. Existing sewer connections can only be used if they are in good working condition. The city shall decide on the condition of existing connections.
5. The contractor must obtain a sewer permit from the City of Cleveland, division of Water Pollution Control, before performing the sewer work.
6. Confirm with the City of Cleveland Water Department whether the existing water connection is reusable or will need to be replaced.

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. The centerline of known utility lines shown herein do not represent the true width of the utility line.

Dimensions shown on this plan are expressed in feet and decimal parts thereof, all of which I declare to be correct to the best of my knowledge and belief. Bearings are to an assumed meridian and are used to denote angles only.

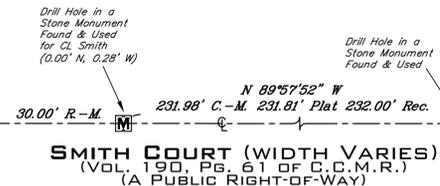
Porch Elev - February 5, 2024

January 11, 2024

Peter J. Gaurloff P.S. No. 8646



WEST 19TH STREET 60'
 (FORMERLY SMITH STREET)
 (VOL. 190, PG. 61 OF C.C.M.R.)
 (A PUBLIC RIGHT-OF-WAY)



SMITH COURT (WIDTH VARIES)
 (VOL. 190, PG. 61 OF C.C.M.R.)
 (A PUBLIC RIGHT-OF-WAY)

REFERENCE SURVEYS

- Dedication Map of Smith Court S.W. Opening, Volume 190, Page 61 of Cuyahoga County Map Records. (PLAT)
- Lot Consolidation and Lot Split for Robert Eggers and Cleveland Housing Network, Inc., Volume 323, Page 62 of Cuyahoga County Map Records. (Garrett)
- Consolidation Survey for Christian Flores, Volume 338, Page 48-49 of Cuyahoga County Map Records. (Aztech)
- Property Survey, Volume 361, Pages 26-33 of Cuyahoga County Map Records. (Zaranez)
- G.E. Hartnell's 1885 Survey of Bradford & Carter's Estate, Revised and Extended 1899 & 1921, City of Cleveland Survey Record UN-228 ("MAP")
- City of Cleveland Survey Records (CSR)
- City of Cleveland Survey Department Observations for West 19th Place, March 25, 2014. (City)

BRADFORD AVENUE S.W. 50'
 (A PUBLIC RIGHT-OF-WAY)

BASIS OF BEARINGS

The centerline of West 18th Street as North 00°00'16" East in the Dedication Map of Smith Court S.W. Opening as shown on the plat recorded in Volume 190, Pages 61 of Cuyahoga County Map Records.



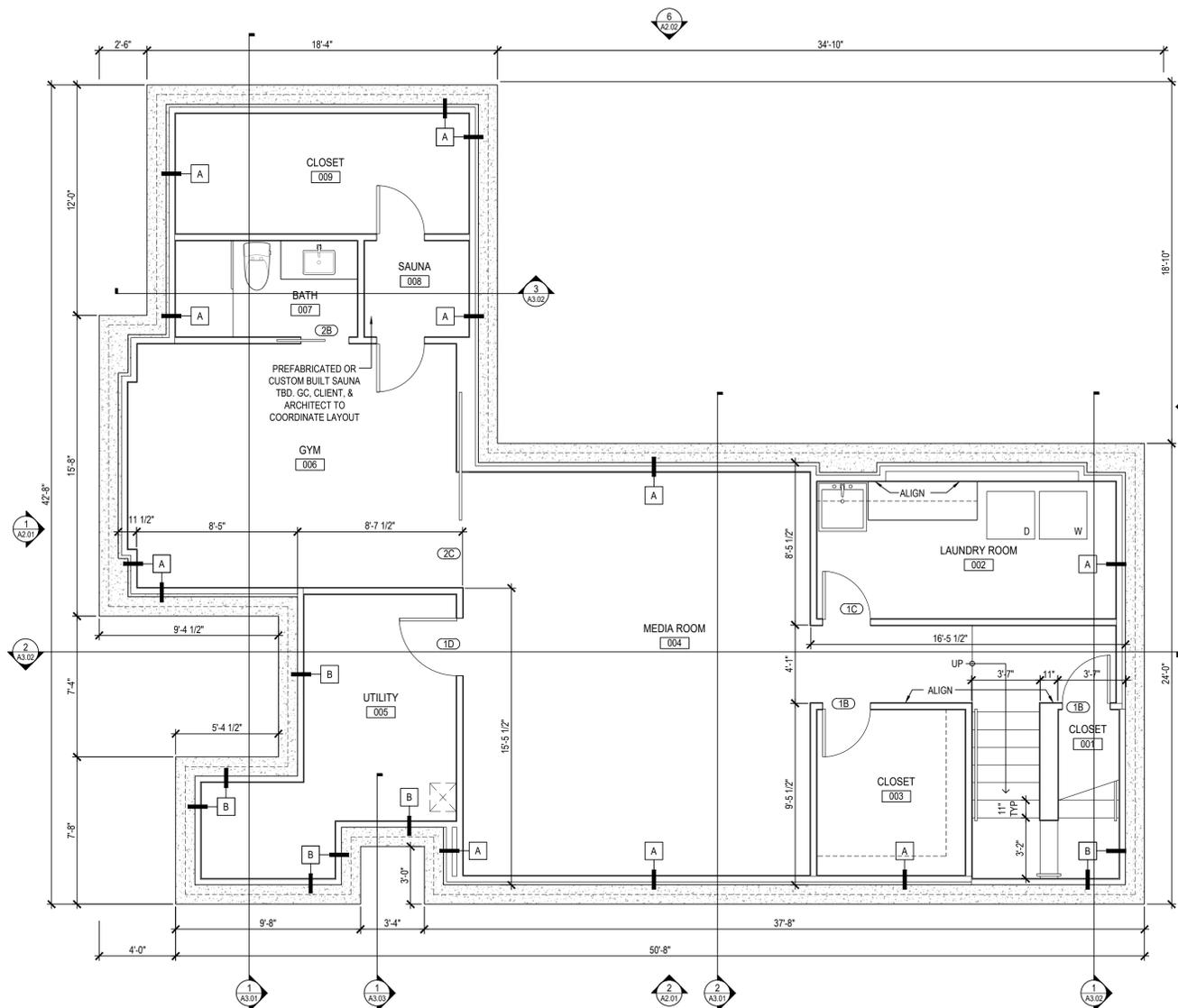
2101 WEST 18TH STREET SITE PLAN

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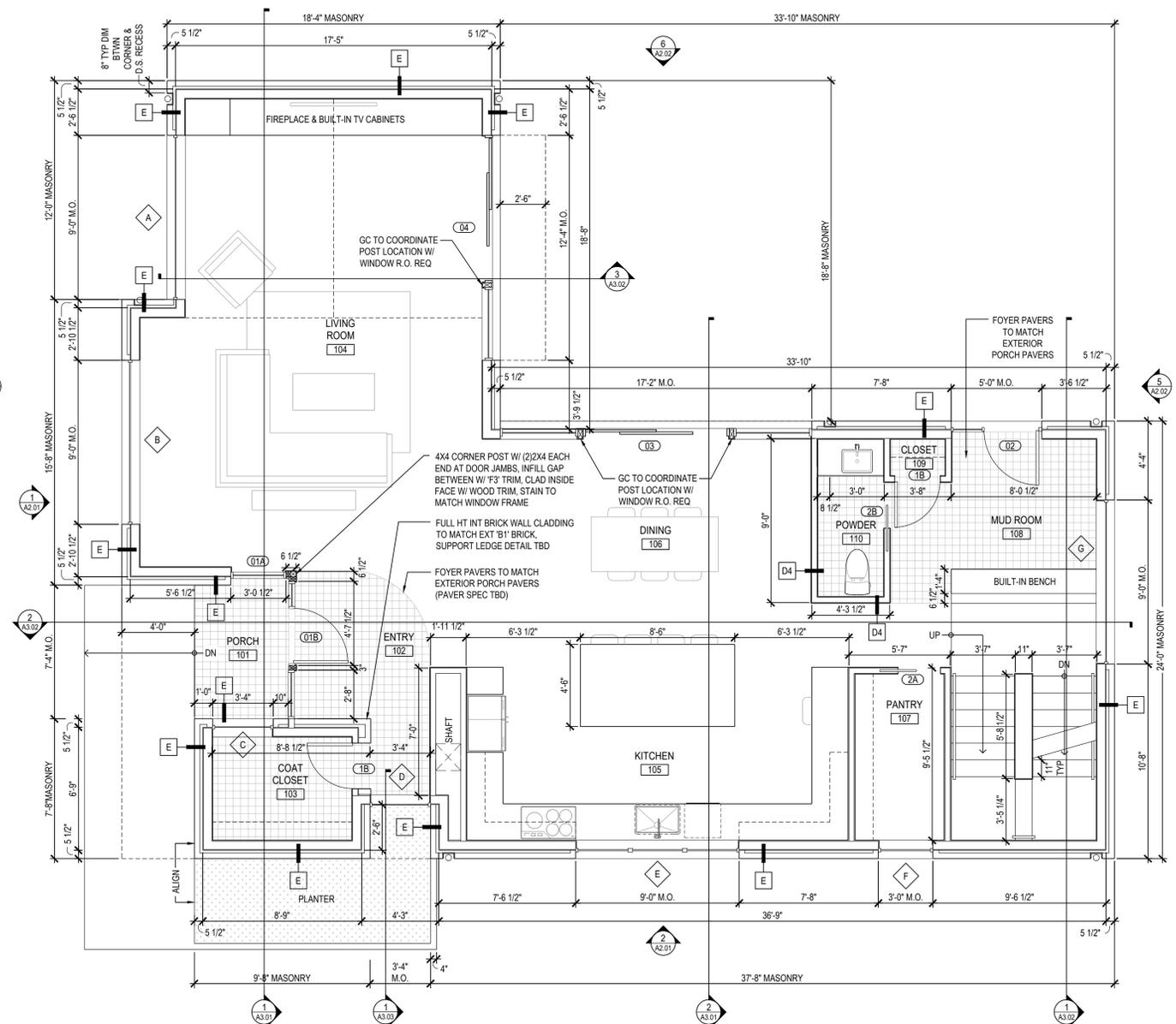


General Notes

- A. ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF 1/2" SHEATHING OR FOUNDATION WALL UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD OR INTERIOR FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO CENTER LINE UNLESS NOTED OTHERWISE. DIMENSION STRINGS "FO" OR "CLEAR" INDICATES THAT THE DIM. IS TAKEN TO THE FACE OF FINISH AT THAT LOCATION.
- B. PROJECT SHALL MEET ALL ENTERPRISE GREEN COMMUNITY REQUIREMENTS FOR TAX ABATEMENT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING COMPLIANCE WITH MANDATORY CRITERIA AND THE MINIMUM NUMBER OF OPTIONAL POINTS APPLICABLE TO THE CONSTRUCTION/PROJECT TYPE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING AND COMPLETING THE CERTIFICATION PROCESS & FOR ENSURING INSULATION, WINDOWS/DOORS, MEP SYSTEMS, FINISHES, FIXTURES, APPLIANCES, ETC. SPECIFICATIONS & INSTALLATION MEET CRITERIA.
- C. PROVIDE 1/2" (MINIMUM) GYPSUM WALLBOARD ON WALLS, UNLESS NOTED OTHERWISE (SEE WALL TYPES FOR SPECIFICATIONS). PROVIDE MOISTURE RESISTANT GYPSUM BOARD ON ALL BATHROOM AND POWDER ROOMS WALLS EXCEPT WHERE KERDI OR OTHER WATERPROOF MATERIAL IS USED (AT SHOWER & TUB SURROUNDS).
- D. VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- E. ALL PLUMBING FIXTURES SHALL BE 'WATERSENSE' LABELED U.N.O. ALL APPLIANCES SHALL BE ENERGY STAR RATED U.N.O.
- F. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.
- G. PROVIDE 2x BLOCKING AT EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- H. PROVIDE "IC RATED" LIGHT FIXTURES IN INSULATED CEILING SPACES. PROVIDE SEALED J-BOXES FOR ALL LIGHT FIXTURES IN FIRE RATED ASSEMBLIES OR IN INSULATED, NON-VENTED ROOF SPACES.
- I. PROVIDE WALL HINGE, OR FLOOR STOPS ON ALL DOORS. PROVIDE LEVER HARDWARE, FOR ALL USER PASSAGE DOORS TYP.
- J. SMOKE ALARMS SHALL BE ON EVERY LEVEL, IN EVERY BEDROOM AND OUTSIDE THE VICINITY OF EVERY BEDROOM. CARBON MONOXIDE ALARMS SHALL BE ON EVERY LEVEL (EACH SIDE OF FIRE WALL & IN EACH UNIT) AND NEAR FURNACE. ALARMS SHALL BE HARDWIRED AND INTERCONNECTED.
- K. DOWNSPOUTS SHALL CONNECT TO STORM SEWER SYSTEM.
- L. ALL BATHROOMS SHALL HAVE EXHAUST FANS. SEE RCP LEGEND FOR SPECIFICATION. NO FLEX DUCT ALLOWED. PROVIDE RIGID METAL DUCTWORK FOR BATH FANS, STOVE HOODS, & LAUNDRY EXHAUST.
- M. ALL STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE STAIRS WITH AN ARTIFICIAL LIGHT SOURCE LOCATED WITHIN THE IMMEDIATE VICINITY OF THE STAIRWAY LANDING.
- N. GUARDS SHALL BE PROVIDED AT ALL OPEN SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE GRADE. GUARDS SHALL BE A MINIMUM 36" HIGH MEASURED VERTICALLY AND OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE. ALL GUARDS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND HORIZONTAL FORCES, OR SHALL BE DESIGNED TO BE SELF SUPPORTING. GUARD RAILS AND HANDRAILS SHALL BE REQUIRED TO RESIST A LINEAR LOAD OF 50 PLF & A CONCENTRATED LOAD OF 200 LBS/6".
- O. HANDRAILS SHALL BE PROVIDED @ MIN ONE SIDE OF STAIR. HANDRAILS AT STAIRS SHALL BE 34"-38" ABOVE THE SLOPED PLANE ADJOINING TREAD NOSINGS. ALL HANDRAILS SHALL BE RETURNED TO A WALL/GUARD/OR WALKING SURFACE HANDRAILS (EXCEPT IN DWELLING UNITS) SHALL EXTEND 12" MIN. HORIZONTALLY BEYOND THE TOP RISER AND SHALL CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER (NOT REQUIRED IN EXIST BLDGS WHERE FULL EXTENSIONS WOULD BE HAZARDOUS).
- P. NEW STAIR RISERS SHALL NOT BE MORE THAN 8"; NEW TREAD DEPTH SHALL NOT BE LESS THAN 10". NOSINGS SHALL HAVE A CURVATURE OR BEVEL NOT LESS THAN 1/16" AND NOT GREATER THAN 9/16" INCH FROM THE FURTHEST PROJECTION OF THE TREAD. RISERS SHALL BE SOLID AND VERT. OR SLOPED UNDER THE TREAD ABV. FROM THE UNDERSIDE OF THE NOSING NOT MORE THAN 30 DEG. FROM THE VERTICAL. NOSINGS SHALL UNIFORM & NOT PROJECT MORE THAN 1/4" BEYOND TREAD BELOW.
- Q. AIR SEALING OF WALL PLATES, DOORS, WINDOWS, PENETRATIONS ETC. TO MEET ENTERPRISE GREEN COMMUNITIES/ ENERGY STAR NEW HOMES PROGRAM CRITERIA.
- R. PROVIDE GFCI ELECTRICAL OUTLETS AT KITCHEN COUNTERS, IN BATHROOMS, AND AT ANY OTHER LOCATION REQUIRED BY CODE.



1 - Basement Floor Plan
 Scale: 1/4" = 1'-0" North ^



2 - 1st Floor Plan
 Scale: 1/4" = 1'-0" North ^

2101 West 18th Street
 Cleveland, Ohio 44113

Revisions

Original Submission Date	2/6/2024
Submission	Progress
	Design Review
	Lot Split
	Planning
	Zoning
	Schematic Design
	80% Design Development
	Building Permit
	Bidding
	Construction
Current Date	2/6/24
Drawn By	HMN
Checked By	WMH
Job Number	23004

FLOOR PLANS

Discipline & Number

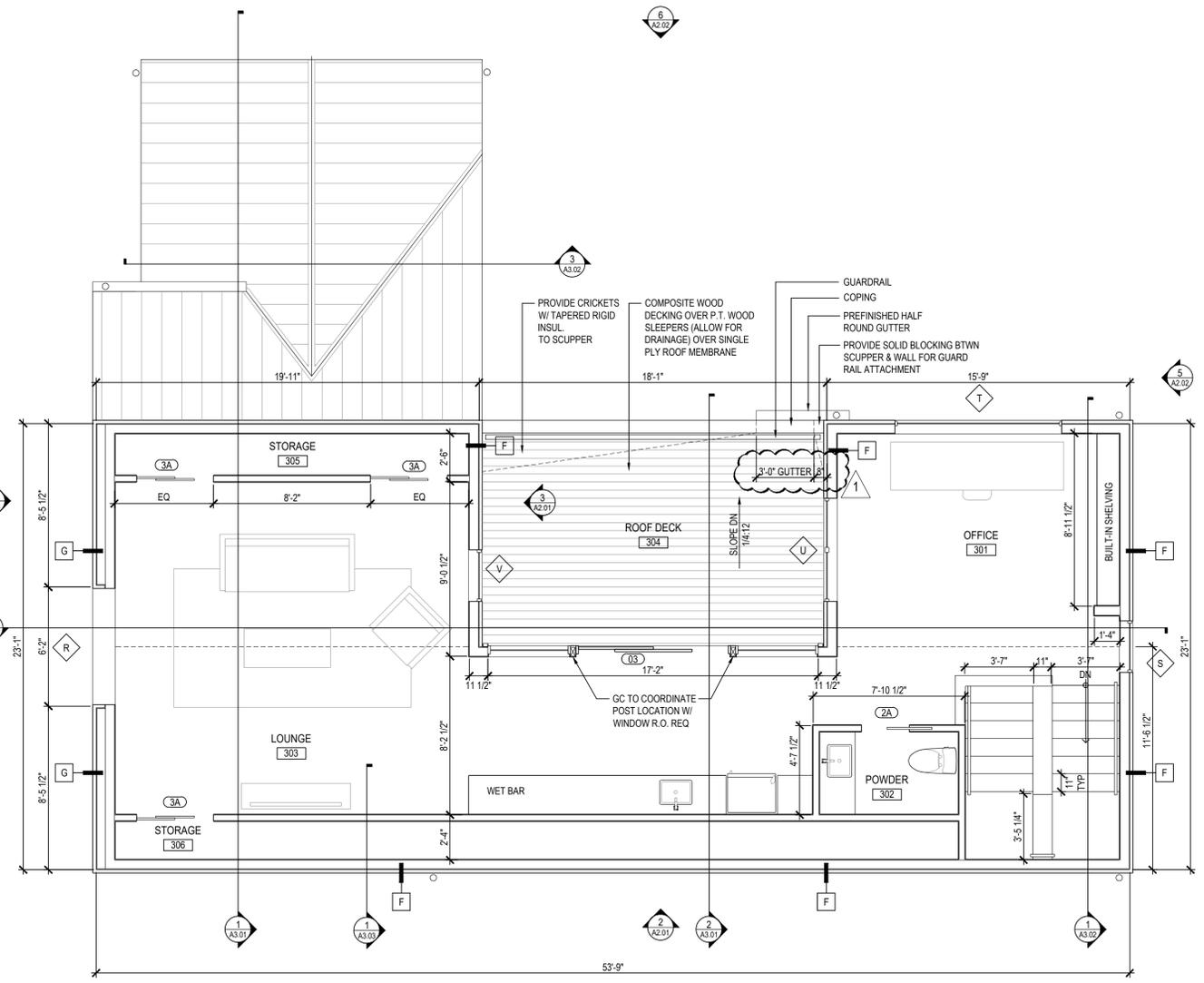
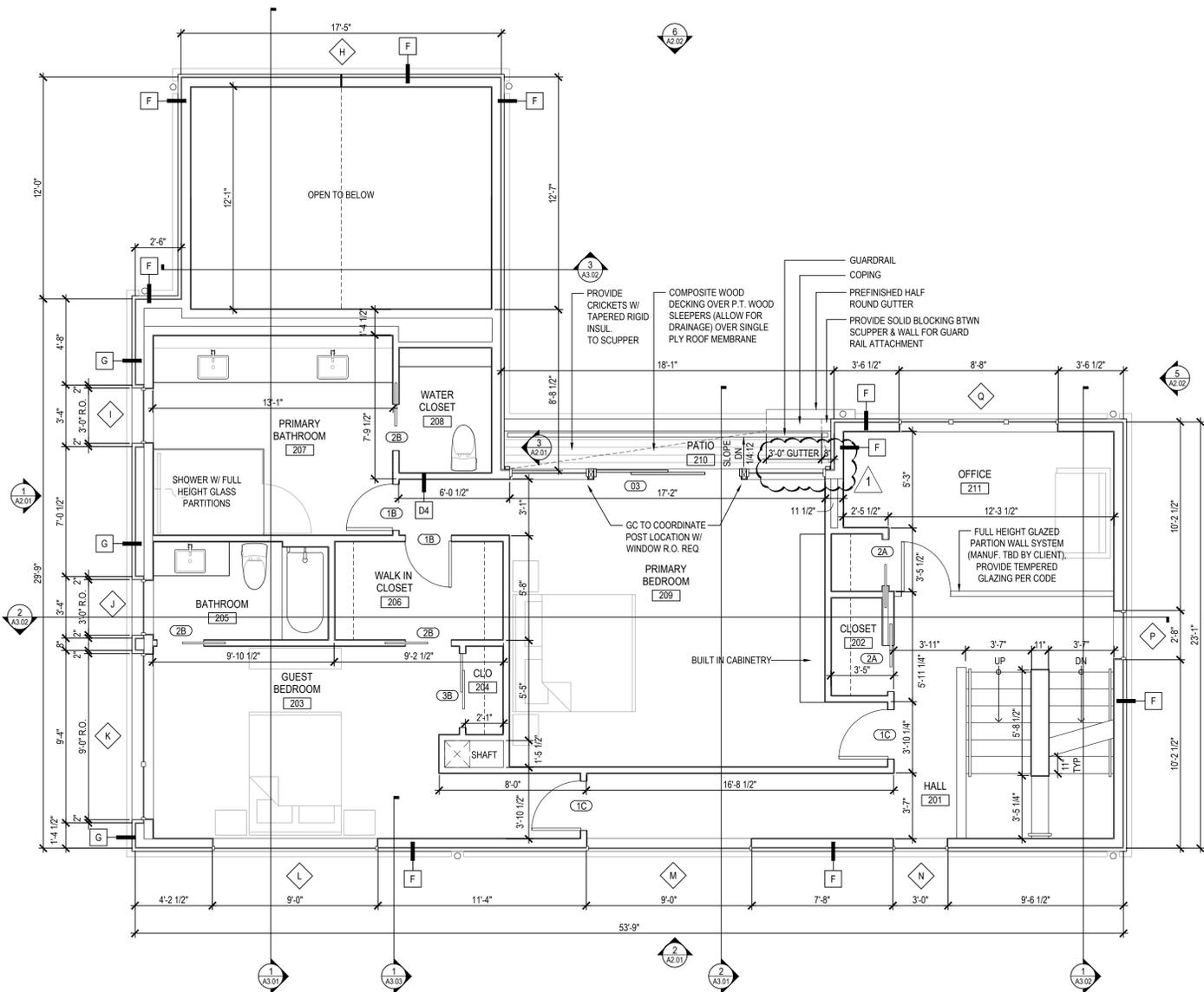
A1.01

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- H. PROVIDE "IC RATED" LIGHT FIXTURES IN INSULATED CEILING SPACES. PROVIDE SEALED J-BOXES FOR ALL LIGHT FIXTURES IN FIRE RATED ASSEMBLIES OR IN INSULATED, NON-VENTED ROOF SPACES.
- I. PROVIDE WALL HINGE, OR FLOOR STOPS ON ALL DOORS. PROVIDE LEVER HARDWARE, FOR ALL USER PASSAGE DOORS TYP.
- J. SMOKE ALARMS SHALL BE ON EVERY LEVEL, IN EVERY BEDROOM AND OUTSIDE THE VICINITY OF EVERY BEDROOM. CARBON MONOXIDE ALARMS SHALL BE ON EVERY LEVEL (EACH SIDE OF FIRE WALL & IN EACH UNIT) AND NEAR FURNACE. ALARMS SHALL BE HARDWIRED AND INTERCONNECTED.
- K. DOWNSPOUTS SHALL CONNECT TO STORM SEWER SYSTEM.
- L. ALL BATHROOMS SHALL HAVE EXHAUST FANS. SEE RCP LEGEND FOR SPECIFICATION. NO FLEX DUCT ALLOWED. PROVIDE RIGID METAL DUCTWORK FOR BATH FANS, STOVE HOODS, & LAUNDRY EXHAUST.
- M. ALL STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE STAIRS WITH AN ARTIFICIAL LIGHT SOURCE LOCATED WITHIN THE IMMEDIATE VICINITY OF THE STAIRWAY LANDING.
- N. GUARDS SHALL BE PROVIDED AT ALL OPEN SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE GRADE. GUARDS SHALL BE A MINIMUM 36" HIGH MEASURED VERTICALLY AND OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE. ALL GUARDS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND HORIZONTAL FORCES, OR SHALL BE DESIGNED TO BE SELF SUPPORTING. GUARD RAILS AND HANDRAILS SHALL BE REQUIRED TO RESIST A LINEAR LOAD OF 50 PLF & A CONCENTRATED LOAD OF 200 LBS/6".
- O. HANDRAILS SHALL BE PROVIDED @ MIN ONE SIDE OF STAIR. HANDRAILS AT STAIRS SHALL BE 34"-38" ABOVE THE SLOPED PLANE ADJOINING TREAD NOSINGS. ALL HANDRAILS SHALL BE RETURNED TO A WALL/GUARD OR WALKING SURFACE HANDRAILS (EXCEPT IN DWELLING UNITS) SHALL EXTEND 12" MIN. HORIZONTALLY BEYOND THE TOP RISER AND SHALL CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER (NOT REQUIRED IN EXIST BLDGS WHERE FULL EXTENSIONS WOULD BE HAZARDOUS).
- P. NEW STAIR RISERS SHALL NOT BE MORE THAN 8"; NEW TREAD DEPTH SHALL NOT BE LESS THAN 10". NOSINGS SHALL HAVE A CURVATURE OR BEVEL NOT LESS THAN 1/16" AND NOT GREATER THAN 9/16" INCH FROM THE FURTHEST PROJECTION OF THE TREAD. RISERS SHALL BE SOLID AND VERT. OR SLOPED UNDER THE TREAD ABV. FROM THE UNDERSIDE OF THE NOSING NOT MORE THAN 30 DEG. FROM THE VERTICAL. NOSINGS SHALL UNIFORM & NOT PROJECT MORE THAN 1/4" BEYOND TREAD BELOW.
- Q. AIR SEALING OF WALL PLATES, DOORS, WINDOWS, PENETRATIONS ETC. TO MEET ENTERPRISE GREEN COMMUNITIES/ ENERGY STAR NEW HOMES PROGRAM CRITERIA.
- R. PROVIDE GFCI ELECTRICAL OUTLETS AT KITCHEN COUNTERS, IN BATHROOMS, AND AT ANY OTHER LOCATION REQUIRED BY CODE.



1 - Second Floor Plan
 Scale: 1/4" = 1'-0" North ^

2 - Third Floor Plan
 Scale: 1/4" = 1'-0" North ^

2101 West 18th Street
 Cleveland, Ohio 44113

Revisions
 City Comments 3/20/24

Original Submission Date	2/6/2024
Submission	Progress
	Design Review
	Lot Split
	Planning
	Zoning
	Schematic Design
	80% Design Development
	Building Permit
	Bidding
	Construction
Current Date	2/6/24
Drawn By	HMN
Checked By	WMH
Job Number	23004

FLOOR PLANS